

1 October 2021
Ref: 004OH/2021

Vaughan Milligan
Director
Vaughan Milligan Development Consulting Pty Ltd
By Email: vmdc@bigpond.net.au

Dear Vaughan,

**Proposed Residential Development
11B Hill Street, Warriewood
DA2021/0715
Response to Council's Request for Additional Information**

This letter is prepared to address Council's Request for Additional Information for traffic and parking matters dated 10/08/2021. The revised development plans prepared by JJ Drafting are provided in Appendix A.

The following details Council's comments and associated TTPA's response are provided in the table below.

RFI No.	TTPA's Response
4. A minimum of 3.0 m wide paved access way is to be provided to service all lots. The minimum driveway wide has not been detailed, additionally a vehicle turning template for a B85 vehicle to be overlain on the turn into proposed Lot no 2.	A minimum of 3m wide paved access way is proposed to both lots. Swept path assessments provided in Appendix B demonstrate satisfactory manoeuvring for a B85 entering and exiting both lots.
6. Passing bay will be required. where the proposed access driveway is more than 30 metres in length. The passing bay must be 5.0m wide and 10 m long shall be provide. The passing bay has not been provided.	Single two-way driveway for residential dwellings is common in Sydney and has traditionally operated without any safety concerns due to the very low level of traffic movements. Some examples of other similar driveways in the adjoining localities include: <ul style="list-style-type: none">- 65m long 2.6m-wide driveway with access to 4 dwellings (32, 38, 40 and 42 Lakeview Parade Warriewood)- 40m long 4.4m-wide driveway with access to 2 dwellings (16 & 16a Lakeview Parade Warriewood)

The development proposes a stop and go light system which comprises (See Appendix B):

- A single aspect red lantern on a post would be installed at the site access point supplemented by 2 convex mirrors (facing inbound vehicle) – labelled as “SE”. The lantern will remain inactive and turn red when activated by the vehicle detector loop located in front of each garage.
- Stop and go traffic signal - labelled as “S1” and “S2” and vehicle detector loop would be installed in front of each garage (facing outbound vehicles). The system will also be supplemented by remote controls. Louvres will be installed for the signal lights in front of garages to limit the light spills.
- Upon activation by exiting vehicles, the “SE” lantern will display a red light and “S1” and “S2” will both turn green. “SE” will remain red for 30 seconds, while “S1” and “S2” will remain green for 30 seconds prior to returning to red.
- the signal system is to be programmed to process entering vehicles at all times. This means that “SE” will be off at all times, except when there is a car exiting. As such, the light will not present any visual and light pollutions to the surrounding properties.

Single Channel Queue assessment based on the Transportation and Traffic Engineering Handbook (ITE) (See p303) was used to calculate the expected delay. Adopting an outbound traffic volume of 3 inbound vehicles and 1 outbound (during the AM peak hour) as well as a service rate of 30 seconds, the resulting queue and expected delay are summarised in the following table:

"n" units in the system	Vehicle in Queue	Probability of "n" units in the system	Probability of "n" units in the system or more
0	0	97.5%	1.000
1	0	2.4%	0.025
2	1	0.1%	0.001
3	2	0.0%	0.000

The probability of 1 vehicle having to stop temporarily on the shoulders of Hill Street due to an exiting vehicle is negligible (0.1%).

In summary, the provision of the stop and go light system and associated signage will be adequate to ensure the car parking access operates efficiently and safely without a passing bay.

I trust the above is sufficient for your purpose. Should you have any questions or require further information, please do not hesitate to contact me on (02) 9411 5660.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Meg Kong', written in a cursive style.

Siew Hwee Kong (Meg)
BSc, MSc Civil Engineering
Associate

Transport and Traffic Planning Associates

Design Practitioner Registration Number: DEP0000127

Professional Engineer Registration Number: PRE0000121

APPENDIX A

Assessed Plans

PROPOSED NEW DWELLING TO A PROPOSED SUBDIVISION

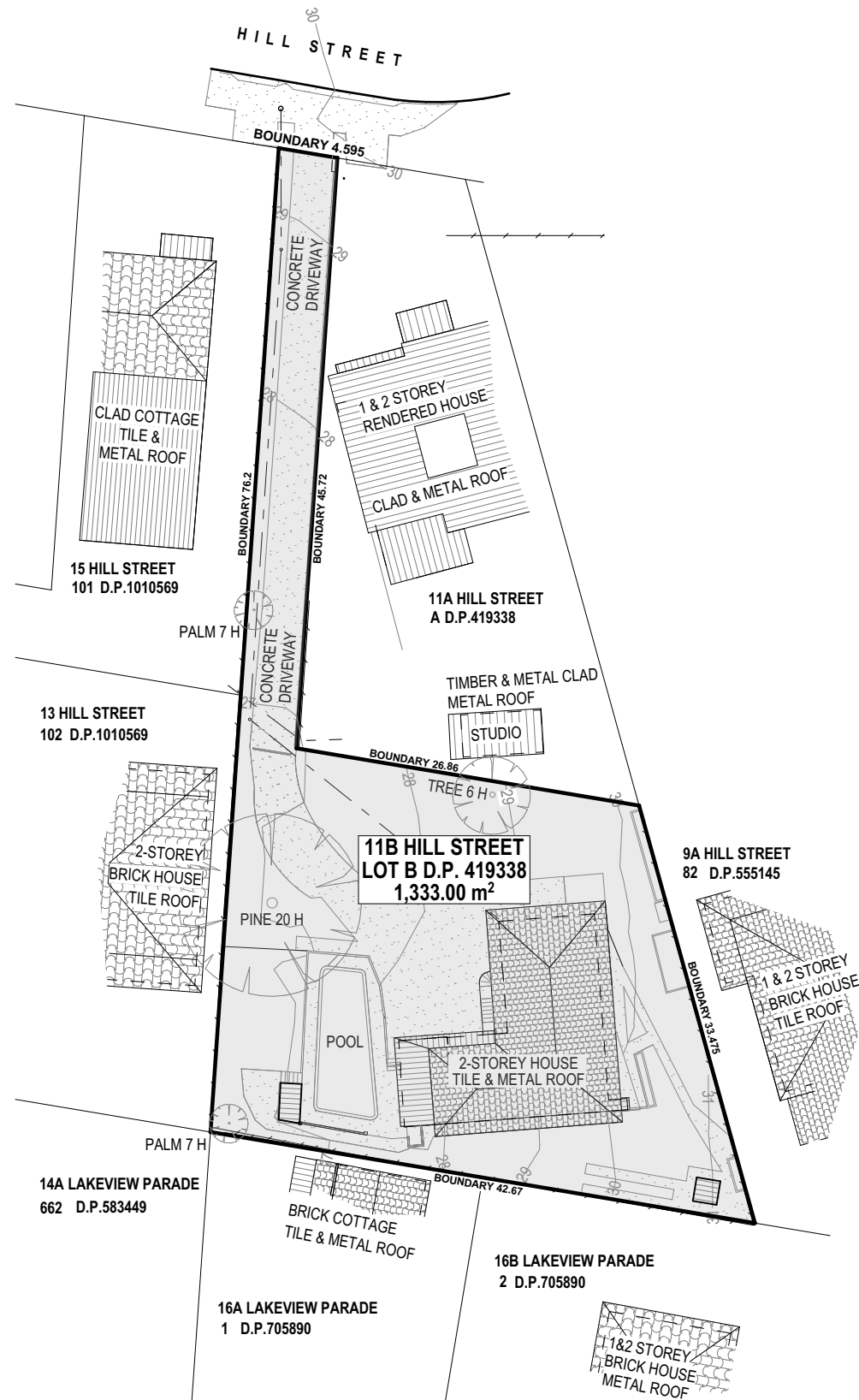
11B HILL STREET - WARRIEWOOD 2102 - RESIDENCE 1



INDEX OF DRAWINGS:

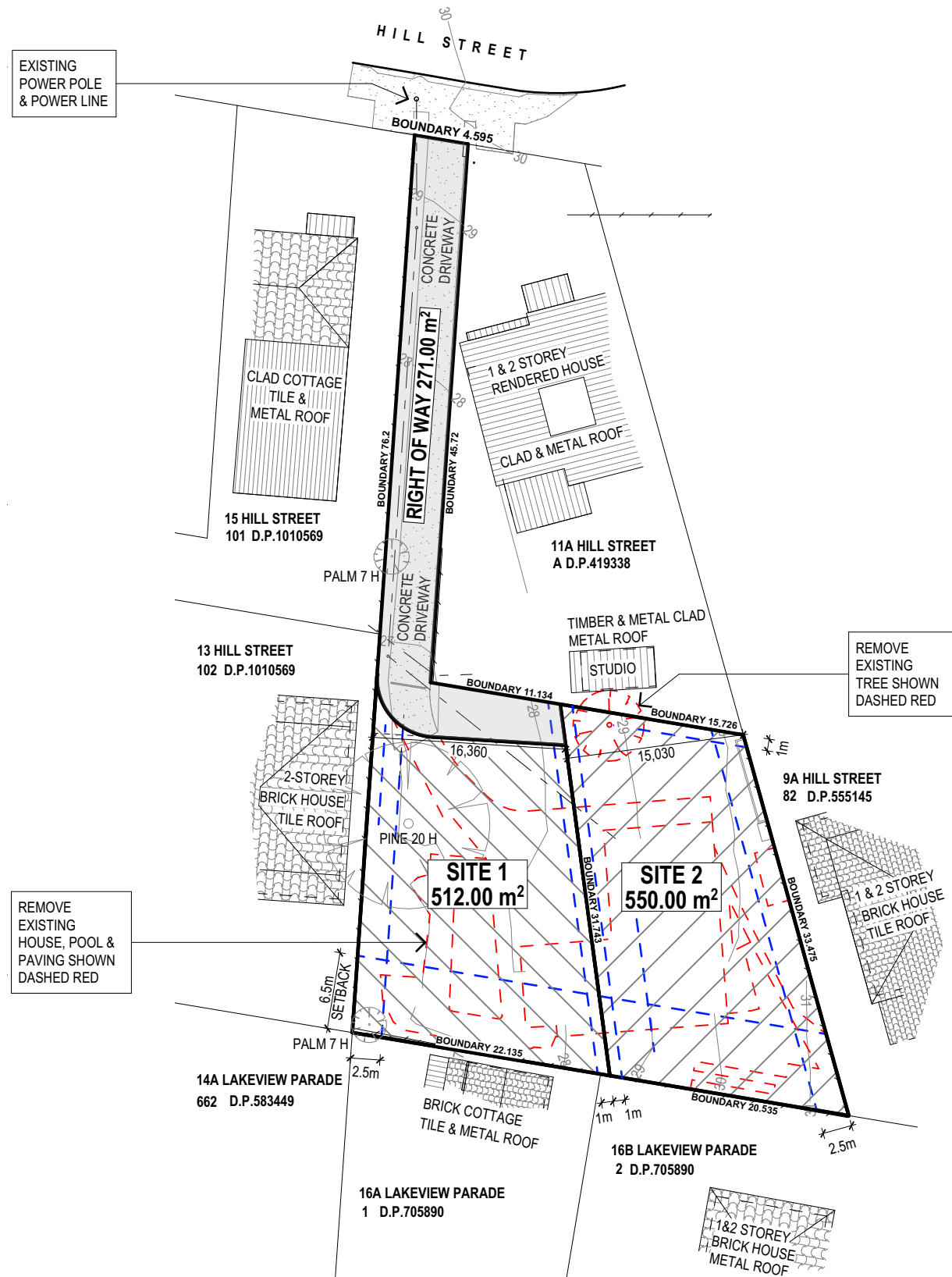
- DA.01 SITE & SUBDIVISION PLAN
- DA.02 SITE ANALYSIS PLAN
- DA.03 DEMOLITION PLAN
- DA.04 PROPOSED GROUND FLOOR PLAN
- DA.05 PROPOSED FIRST FLOOR PLAN
- DA.06 PROPOSED WEST & SOUTH ELEVATIONS
- DA.07 PROPOSED EAST & NORTH ELEVATIONS
- DA.08 SECTION AND SPECIFICATION NOTES
- DA.09 ROOF PLAN AND STORMWATER CONCEPT PLAN
- DA.10 LANDSCAPE AREA CALCULATION PLAN & PRIVATE OPEN SPACE
- DA.11 LANDSCAPE CONCEPT PLAN
- DA.12 EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
- DA.13 SHADOW DIAGRAM JUNE 21 @ 9am
- DA.14 SHADOW DIAGRAM JUNE 21 @ 12noon
- DA.15 SHADOW DIAGRAM JUNE 21 @ 3pm

<div>NOTES (E & OE)</div> <div><ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</div>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>		<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		REV:	DATE:	DESCRIPTION:																						<div>PROJECT DETAILS:</div> <div>PROPOSED NEW DWELLING</div> <div>11B HILL STREET, WARRIEWOOD NSW 2102</div>		<div>DATE:</div> <div>MARCH/21</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>@ A3</div>
	REV:	DATE:	DESCRIPTION:																														
		<div>DRAWING TITLE:</div> <div>COVER SHEET</div>		<div>JOB No:</div> <div>854/20</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.00</div>																											



EXISTING SITE PLAN 1:500

EXISTING SITE LOT B DP 419338 AREA = 1333m²



PROPOSED SUBDIVISION PLAN 1:500

PROPOSED SITE 1	AREA = 512 m ²
PROPOSED SITE 2	AREA = 550 m ²
PROPOSED RIGHT OF WAY & EASEMENT	AREA = 271 m ²

LEGEND	
---	EXISTING TO BE REMOVED
---	SETBACK CONTROL

TRUE NORTH:

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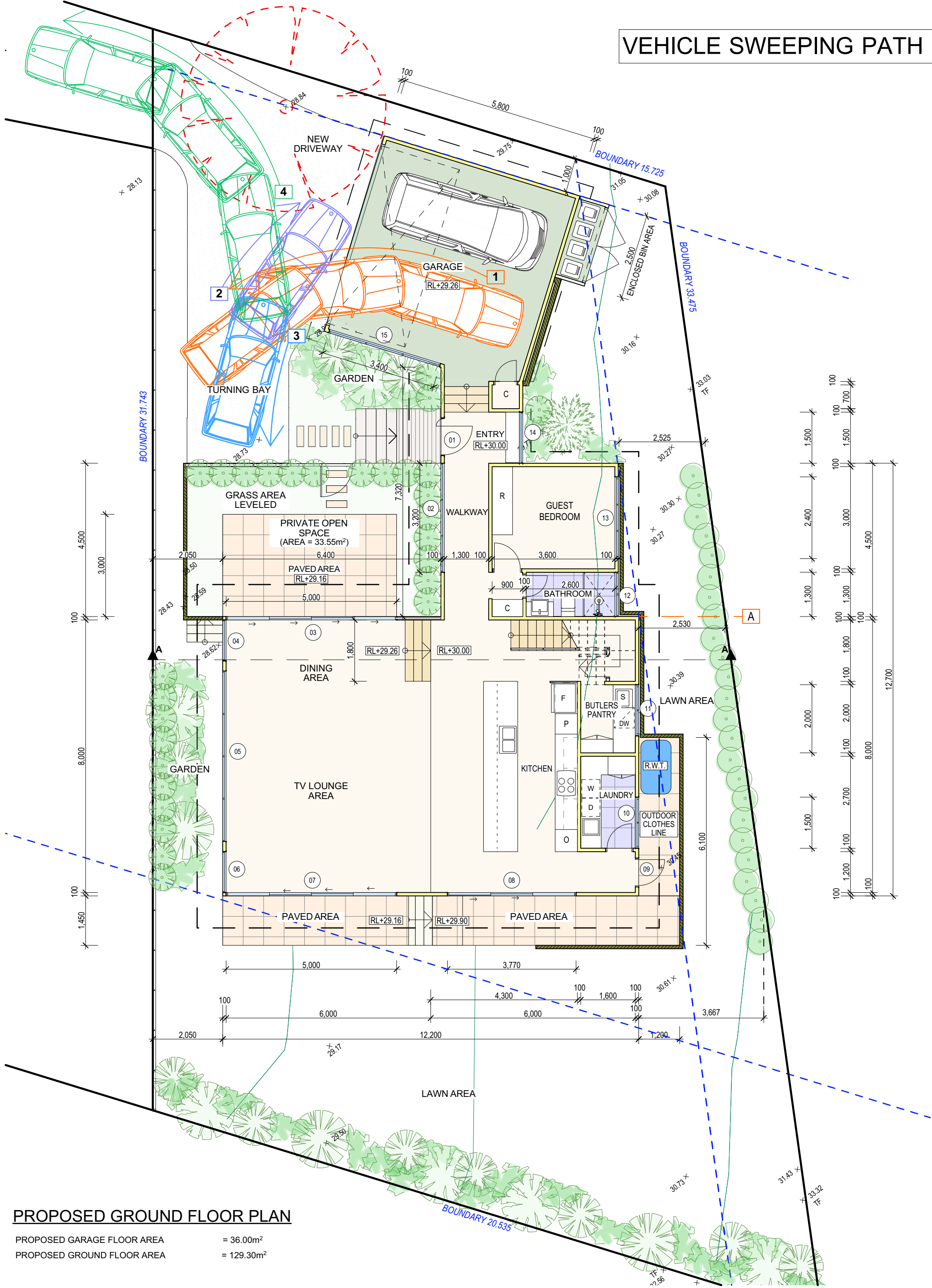
JJ Drafting

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REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102	DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:500 @ A3
DRAWING TITLE: SITE & SUBDIVISION PLANS	JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.01

VEHICLE SWEEPING PATH



PROPOSED GROUND FLOOR PLAN

PROPOSED GARAGE FLOOR AREA = 36.00m²
PROPOSED GROUND FLOOR AREA = 129.30m²

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PROJECT DETAILS:

PROPOSED ALTERATIONS AND ADDITIONS
11B HILL STREET, WARRIEWOOD NSW 2102

DRAWING TITLE:

GROUND FLOOR PLAN

DATE:

SEPTEMBER/20

JOB No:

854/20

DRAWN BY:

LB

CHECKED BY:

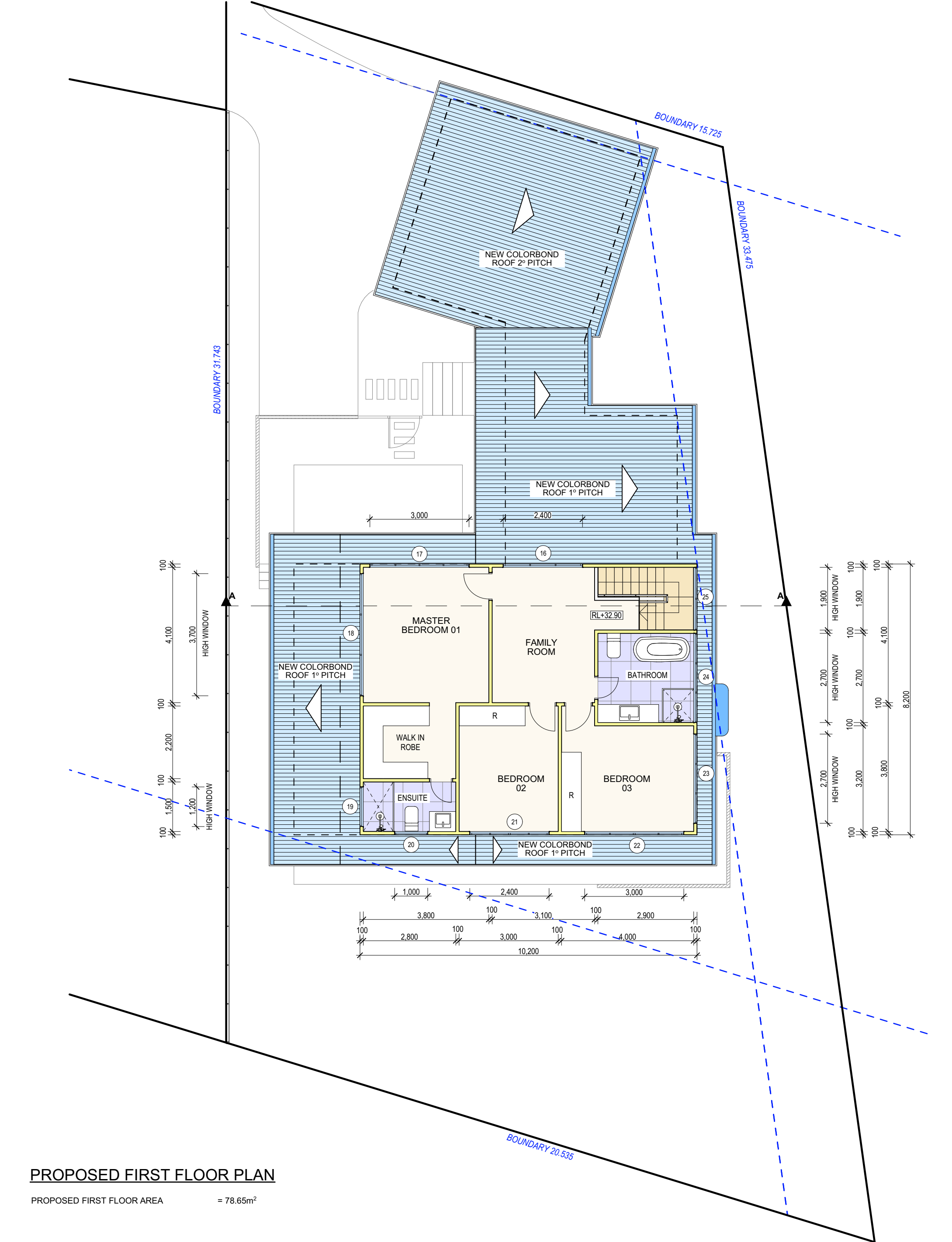
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SCALE:

1:100 @ A3

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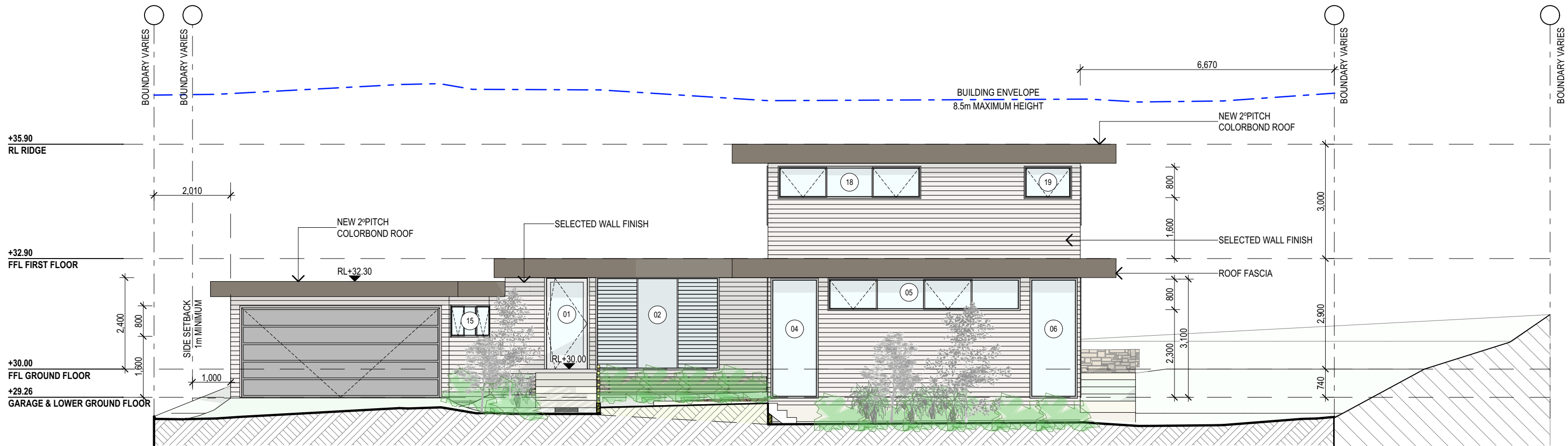
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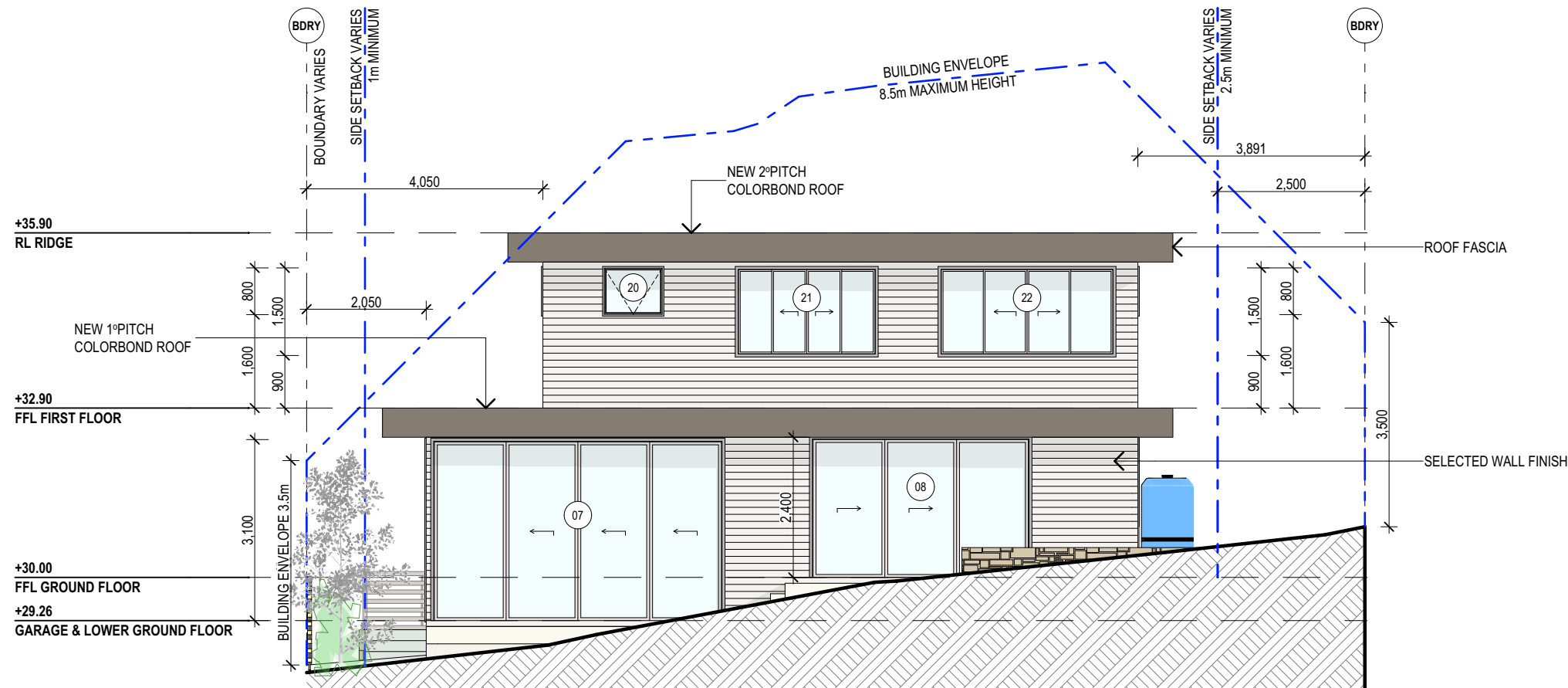
PROPOSED FIRST FLOOR PLAN

PROPOSED FIRST FLOOR AREA = 78.65m²

<div>TRUE NORTH:</div> <div></div>	<div>NOTES (E & OE)</div> <div><ul style="list-style-type: none">● All structures including stormwater & drainage to engineer's details.● Do not obtain dimensions by scaling drawings.● All dimensions are to be checked on site prior to starting work.● These drawings are to be read in conjunction with all other consultant's drawings and specifications.● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.● New materials are to be used throughout unless otherwise noted.● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</div>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	PROJECT DETAILS:		DATE:	DRAWN BY:	SCALE:
			PROPOSED ALTERATIONS AND ADDITIONS		SEPTEMBER/20	LB	1:100 @ A3
			DRAWING TITLE:		JOB No:	CHECKED BY:	DRAWING No:
			FIRST FLOOR PLAN		854/20	JJ	DA.05



WEST ELEVATION

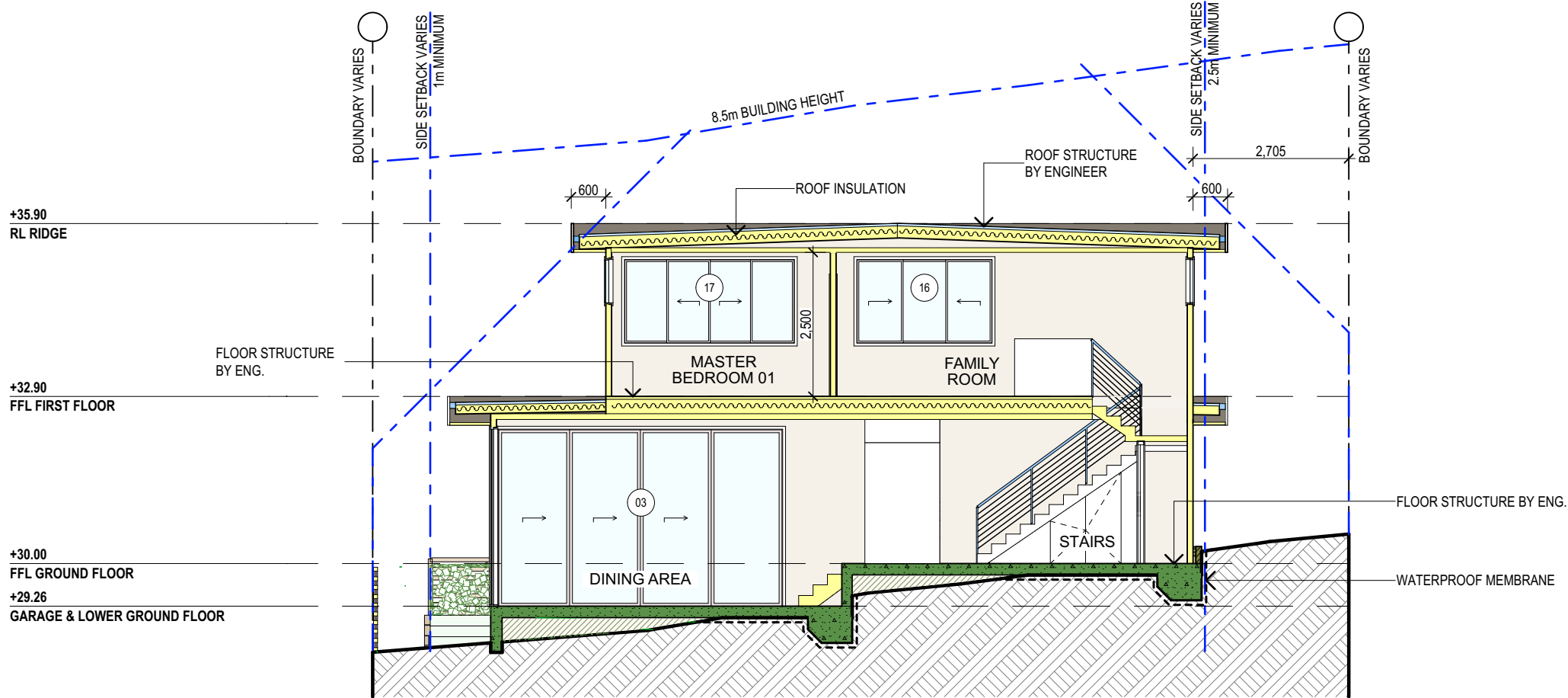


SOUTH ELEVATION

	NOTES (E & OE) <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	JJ Drafting 174 Garden St, North Narrabeen, NSW, 2101 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102	DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:100 @ A3
						DRAWING TITLE: WEST & SOUTH ELEVATIONS	JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.06



<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> • All structures including stormwater & drainage to engineer's details. • Do not obtain dimensions by scaling drawings. • All dimensions are to be checked on site prior to starting work. • These drawings are to be read in conjunction with all other consultant's drawings and specifications. • All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. • New materials are to be used throughout unless otherwise noted. • Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. 	<p><i>JJ Drafting</i></p> <p>174 Garden St, North Narrabeen, NSW, 2101</p> <p>PO Box 687, Dee Why, NSW, 2099</p> <p>Mob. 0414 717 541</p> <p>Email. jjdraft@tpg.com.au</p> <p>www.jjdrafting.com.au</p>	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS:	DATE:	DRAWN BY:	SCALE:
					PROPOSED NEW DWELLING	MARCH/21	LB	1:100 @ A3
					11B HILL STREET, WARRIEWOOD NSW 2102			
					DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
					EAST & NORTH ELEVATIONS	854/20	JJ	DA.07



SECTION AA

WATER COMMITMENTS:

FIXTURES

- SHOWERHEADS WITH A MINIMUM RATING OF 3STAR (>4.5 BUT <= 6l/min) IN ALL SHOWERS IN THE DEVELOPMENT.
- TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4STAR IN EACH TOILET IN THE DEVELOPMENT.
- BASIN TAPS WITH A MINIMUM RATING OF 4STAR IN EACH BATHROOM IN THE DEVELOPMENT.

RAINWATER TANK

- RAINWATER TANK OF AT LEAST XXX LITRES ON THE SITE.

HOT WATER

- GAS INSTANTANEOUS WITH A PERFORMANCE OF 6STARS.

ALTERNATIVE ENERGY

- PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 0.3 PEAK KILOWATTS OF ELECTRICITY AS PART OF THE DEVELOPMENT. CONNECTED TO THE DEVELOPMENT'S ELETRICAL SYSTEM.

OTHER

- GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
- REFRIGERATOR SPACE TO BE "WELL VENTILATED", AS DEFINED IN THE BASIX.
- FIXED OUTDOOR CLOTHES DRYING AS SHOWN ON PLAN.

SPECIFICATION NOTES:

EXTERNAL WALLS

- LIGHT FRAME WALLS FINISHED OFF WITH SELECTED CLADDING

DOORS AND WINDOWS

- TIMBER FRAMED WINDOWS AND DOORS
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS

FLOORS

- TIMBER FLOOR FRAMING TO BE FINISHED WITH T&G HARDWOOD FLOORING
- TILES ON COMPRESSED F.C. & WATERPROOF MEMBRANE TO ALL WET AREA.

ROOFING

- COLORBOND ROOF CLADDING

BALUSTRADE

- 1000mm HIGH BALUSTRADE TO BCA
- POOL FENCING 1.2m HIGH

DECK

- TIMBER DECKING WITH ROUNDED EDGE & 3mm GAP

BATHROOM

- ALL WATERPROOFING TO AS 3740
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

STORMWATER

- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

GUTTERS AND DOWNPIPES

- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

FLASHING AND CAPPINGS

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION

TERMITE CONTROL

- TO AS3660.1

TIMBER FRAMING

- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303, AS1304

INTERNAL LININGS

- PROVIDE PLASTERBOARD LINING

STAIR

- DRESSED & WELL SEASONED PINE TREADS WITH 5mm PENCIL ROUND NOSING AND CLOSED RISERS.

SMOKE ALARMS

- CONNECT TO CONSUMER MAINS POWER AND INSTALL TO AS1670.6. 1997

(fire detection, warning control and intercom systems - systems design, installation and commissioning - smoke alarms) and as3786 -1996 (smoke alarms)

WASTE MANAGEMENT

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE

SEDIMENT CONTROL

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM

NOTE:

ADDITIONS AND ALTERATIONS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEO TECH REPORTS.

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REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102
DRAWING TITLE: SECTION & SPECIFICATION NOTES

DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.08



NOTE: ●
NEW DOWNPIPES TO BE CONNECTED TO
NEW STORMWATER LINE

STORMWATER CONCEPT LEGEND

EXISTING DOWNPIPES ●
NEW DOWNPIPES ●
EXISTING STORMWATER LINE - - -
NEW STORMWATER LINE - - -

TRUE NORTH:



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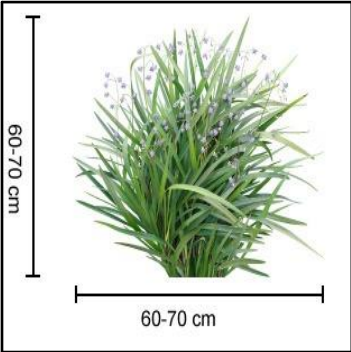
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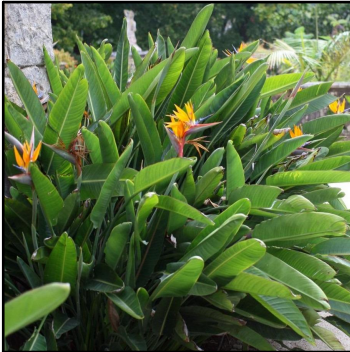
PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102
DRAWING TITLE: ROOF & STORMWATER CONCEPT PLAN

DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.09

SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD
	'WEeping LILLY PILLY'	Waterhousea floribunda	5m	3m
	DIANELLA CAERULEA (BREEZE) or SIMILAR	Dianella caerulea	0.7m	0.7m
	PINK FLAIR CHERRY or SIMILAR	Prunus sargentii	2.5m	3.0m
	BIRD OF PARADISE AND/OR SELECTED TREE	Strelitzia nicolai	5m	3.5m
	SELECTED SCRUBS AND PLANTS	-	-	-
	EXISTING TREE TO REMAIN	-	-	-
	EXISTING TREE TO BE REMOVED	-	-	-



DIANELLA CAERULEA (BREEZE)



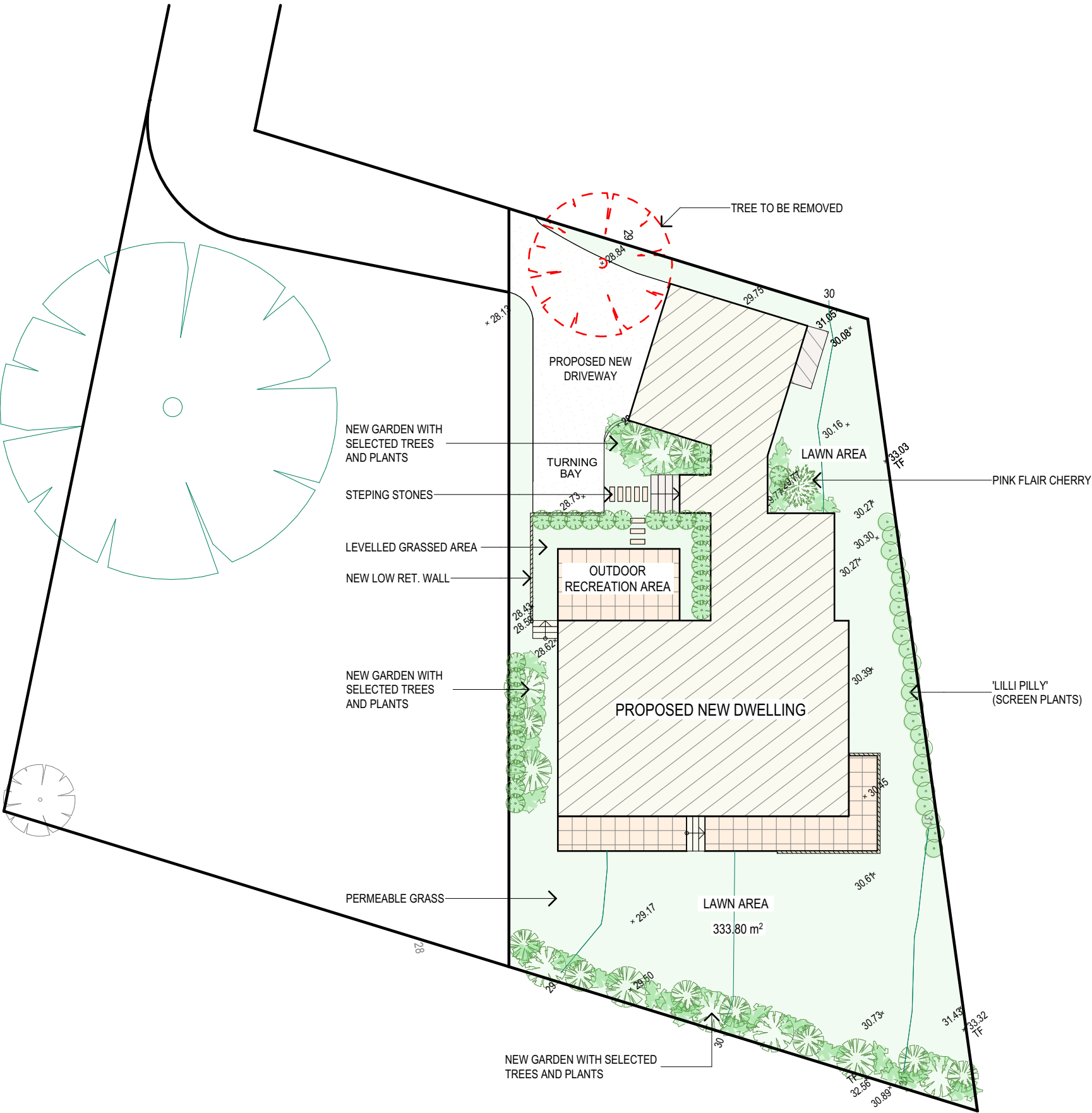
BIRD OF PARADISE



'WEeping LILLY PILLY'



PINK FLAIR CHERRY or SIMILAR



LANDSCAPE CONCEPT PLAN

TRUE NORTH:



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REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102
DRAWING TITLE: LANDSCAPE CONCEPT PLAN

DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.11

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

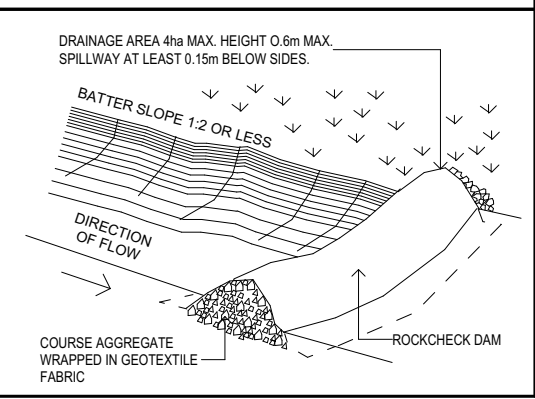
DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

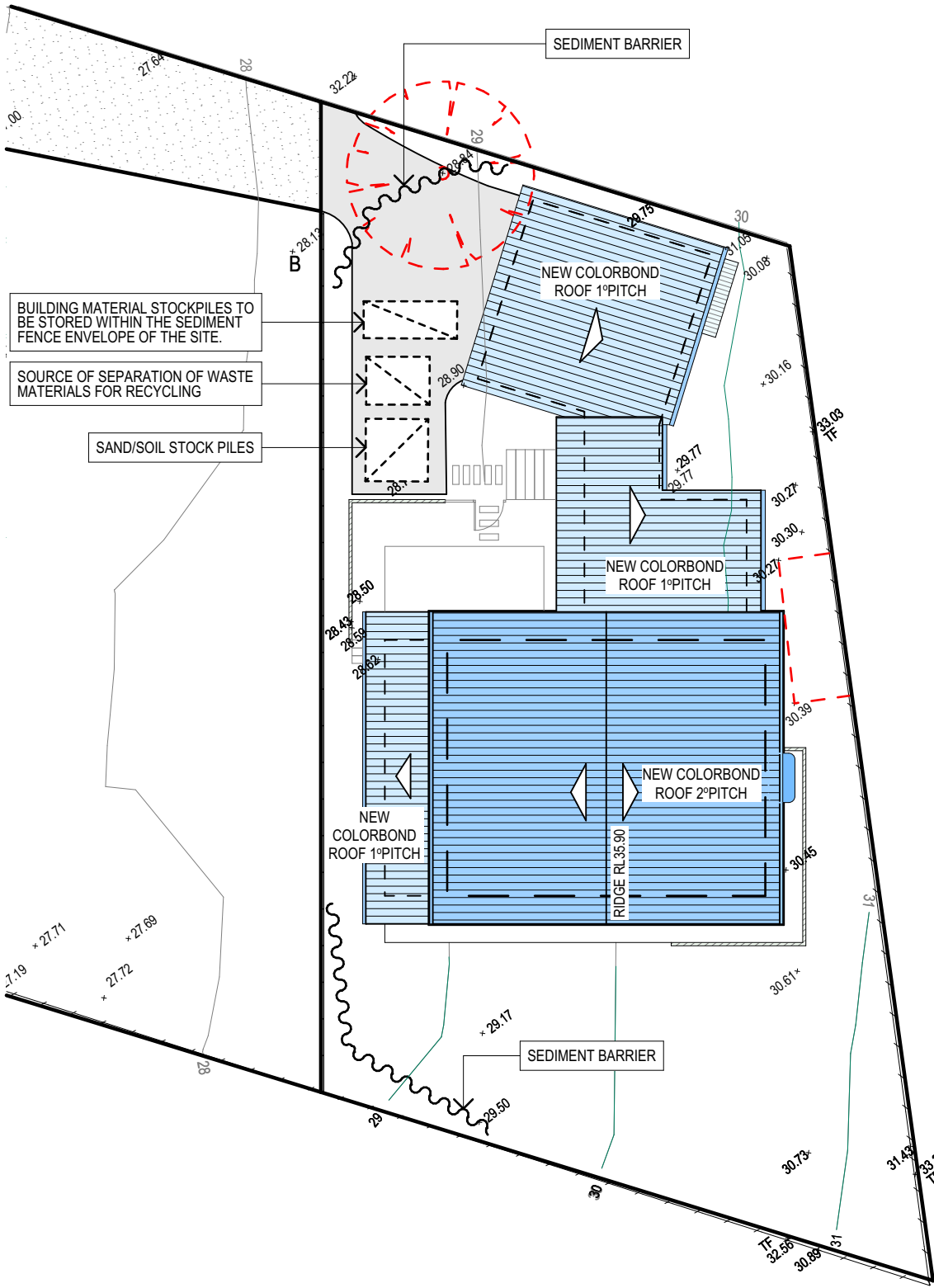
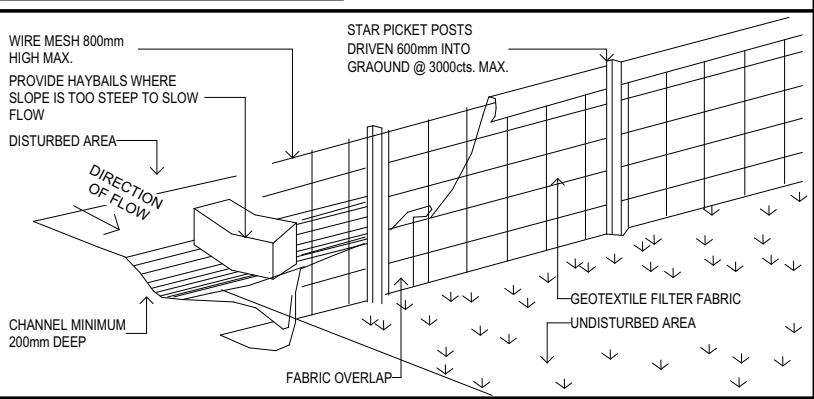
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

TYPICAL DIVERSION CHANNEL - nts

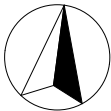


TYPICAL SEDIMENT FENCE - nts



EROSION & SEDIMENT CONTROL/ WASTE MANAGEMENT PLAN

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

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PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541
Email. jjdraft@tpg.com.au
www.jjdrafting.com.au

REV: DATE: DESCRIPTION:

PROJECT DETAILS:
PROPOSED NEW DWELLING
11B HILL STREET, WARRIEWOOD NSW 2102

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE
MANAGEMENT PLAN

DATE:
MARCH/21

JOB No:
854/20

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:200 @ A3

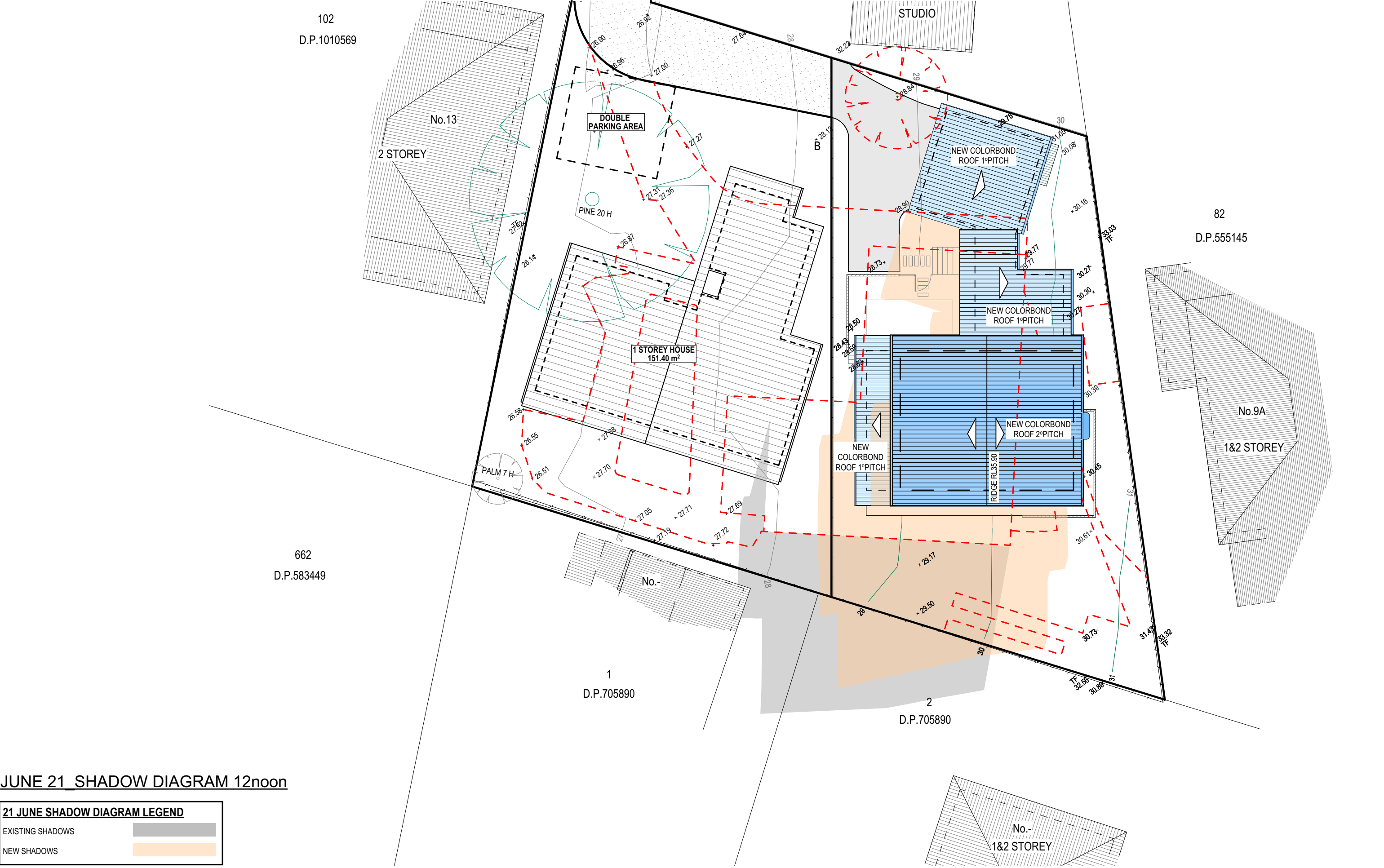
DRAWING No:
DA.12

The site plan for D.P.705890 is divided into two sections, 1 and 2. Section 1 (left) shows a 1-storey house (151.40 m²) and a double parking area. Section 2 (right) shows a studio and three new colorbond roof structures. The plan includes various annotations such as 'No.13', '2 STOREY', 'STUDIO', 'NEW COLORBOND ROOF 1°PITCH', 'NEW COLORBOND ROOF 2°PITCH', 'RIDGE RL:35.90', 'PINE 20 H', and 'PALM 7 H'. Elevation points are marked throughout the site.

No.-
1&2 STOREY

DRAWING No:

DA.13



JUNE 21_SHADOW DIAGRAM 12noon

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

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- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
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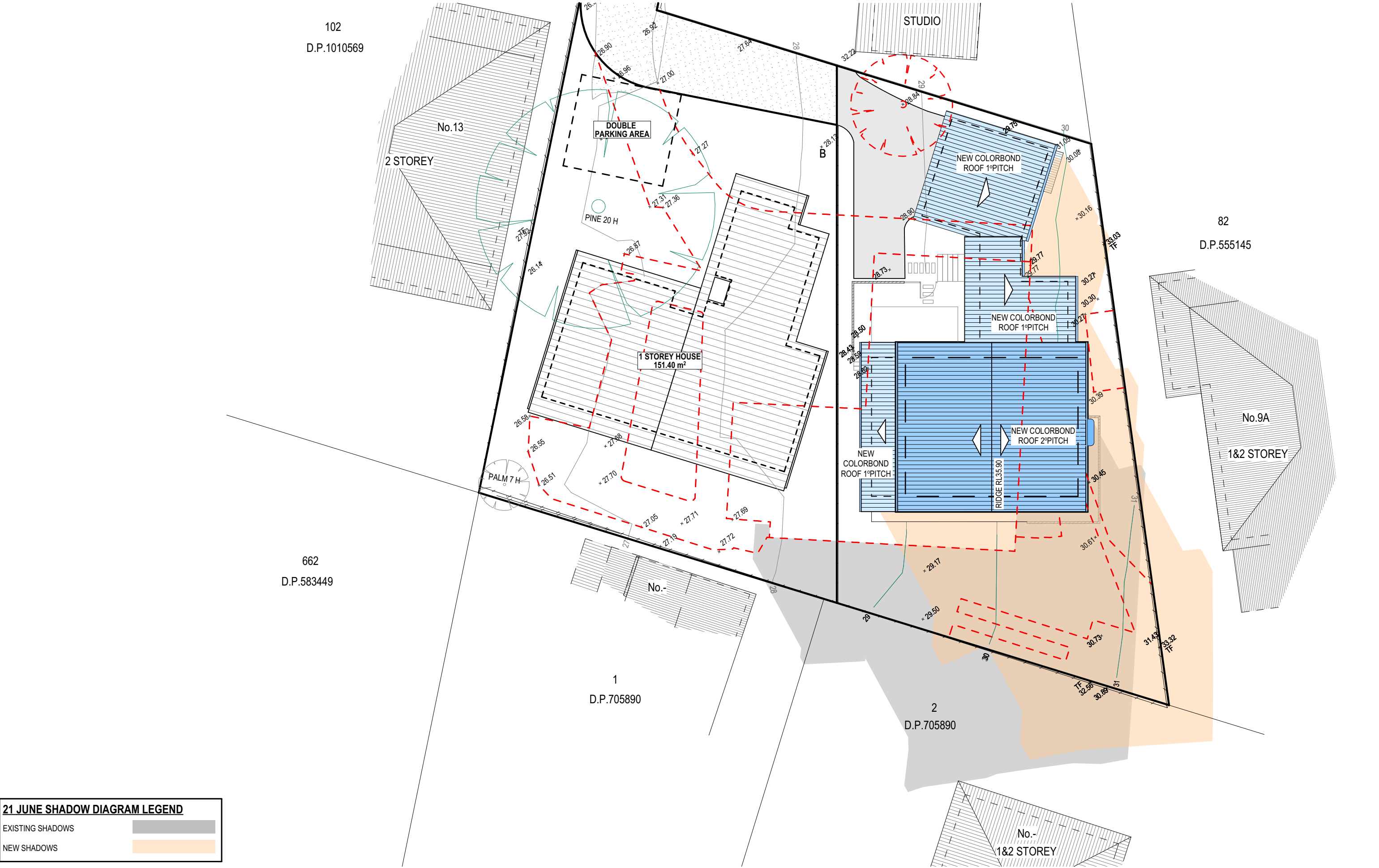
JJ Drafting

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REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED NEW DWELLING 11B HILL STREET, WARRIEWOOD NSW 2102
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 12 noon

DATE: MARCH/21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 854/20	CHECKED BY: JJ	DRAWING No: DA.14



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
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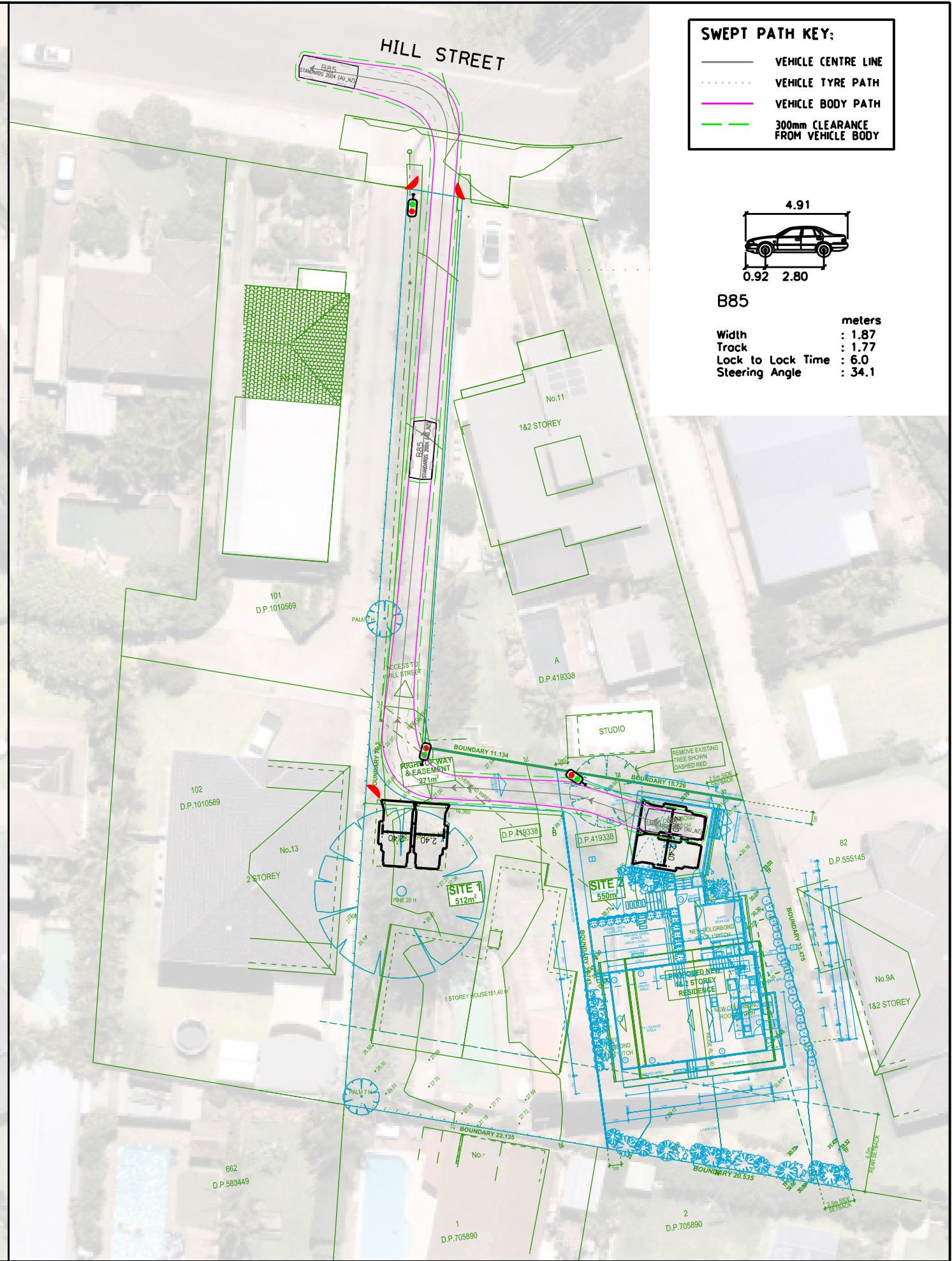
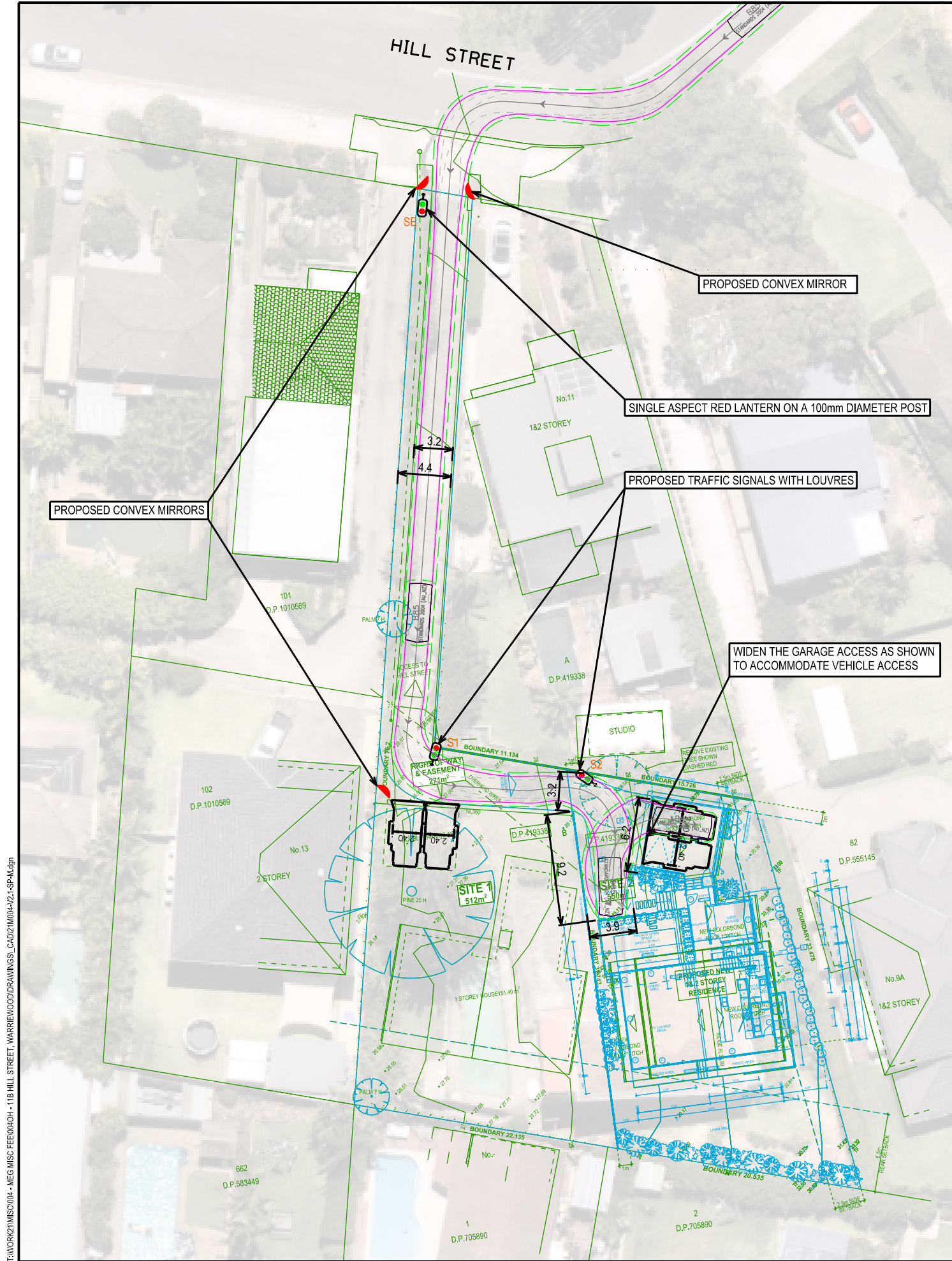
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:

<div>PROJECT DETAILS:</div> <div>PROPOSED NEW DWELLING</div> <div>11B HILL STREET, WARRIEWOOD NSW 2102</div>	<div>DATE:</div> <div>MARCH/21</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>1:200 @ A3</div>
<div>DRAWING TITLE:</div> <div>SHADOW DIAGRAM JUNE 21 3:00 pm</div>	<div>JOB No:</div> <div>854/20</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.15</div>

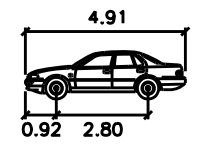
APPENDIX B

Swept Path Assessments and Proposed Stop and Go Light System



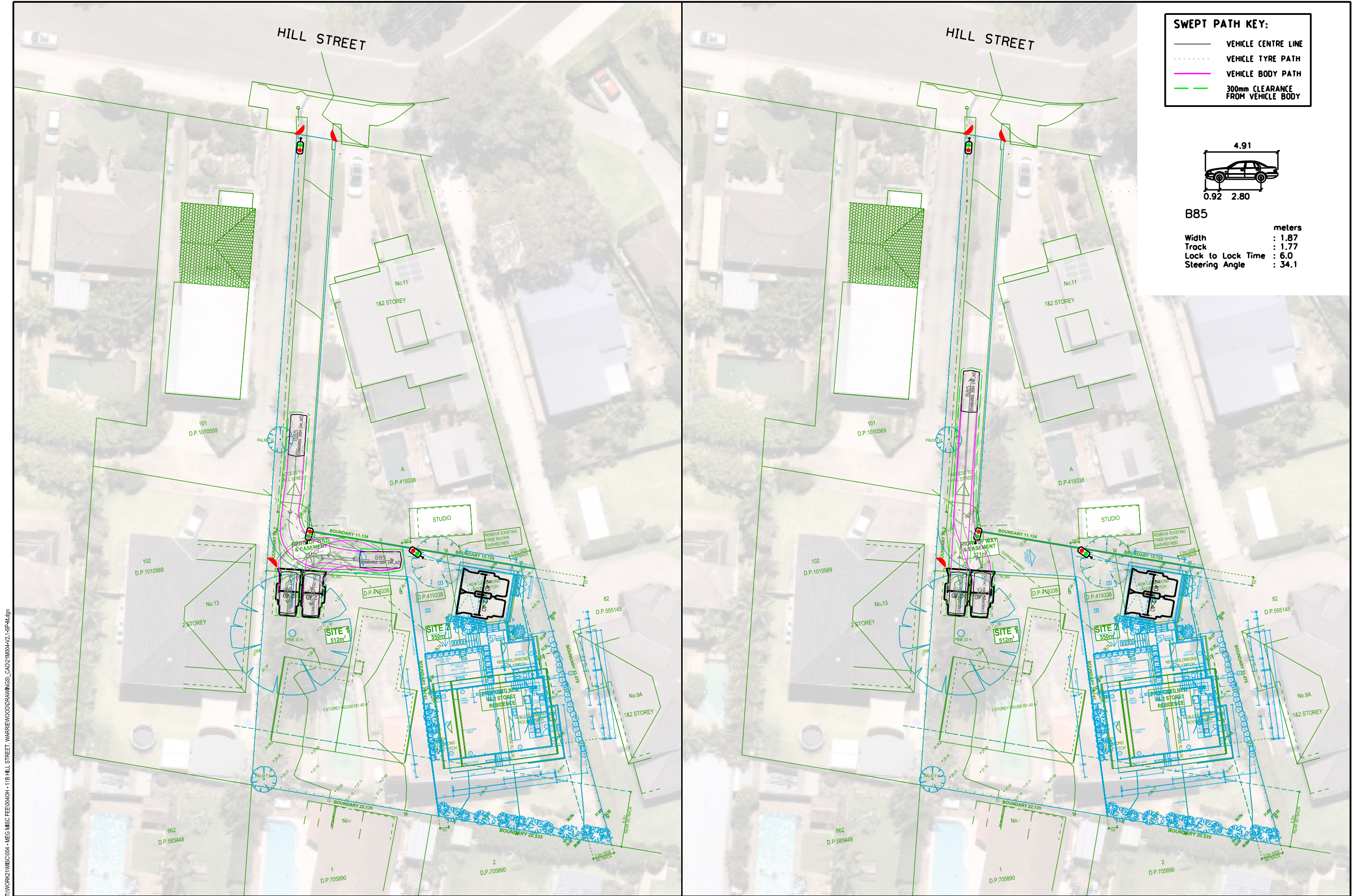
SWEPT PATH KEY:

—	VEHICLE CENTRE LINE
...	VEHICLE TYRE PATH
—	VEHICLE BODY PATH
---	300mm CLEARANCE FROM VEHICLE BODY

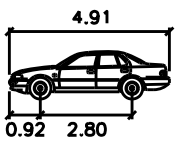


B85

Width	: 1.87
Track	: 1.77
Lock to Lock Time	: 6.0
Steering Angle	: 34.1

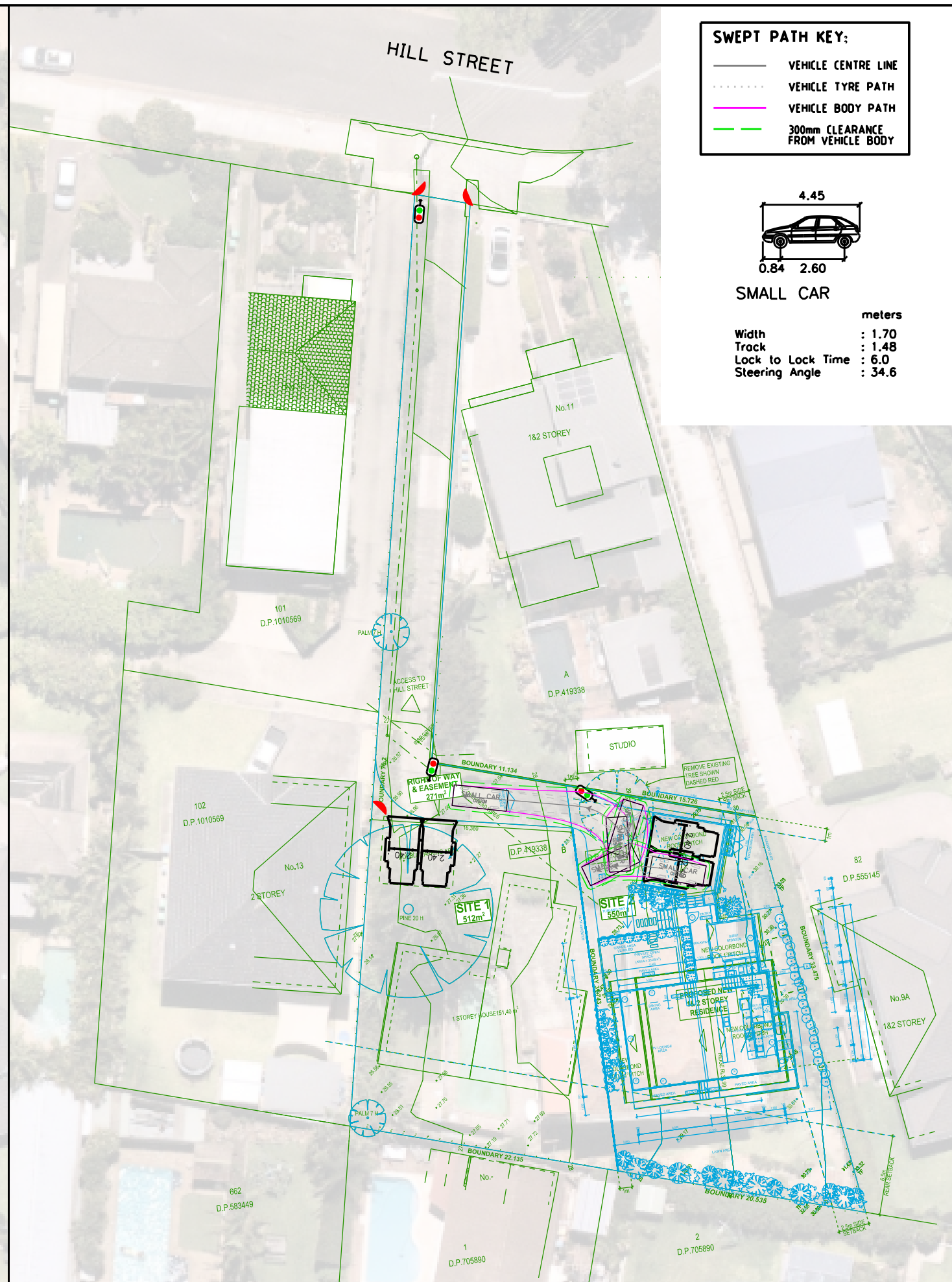
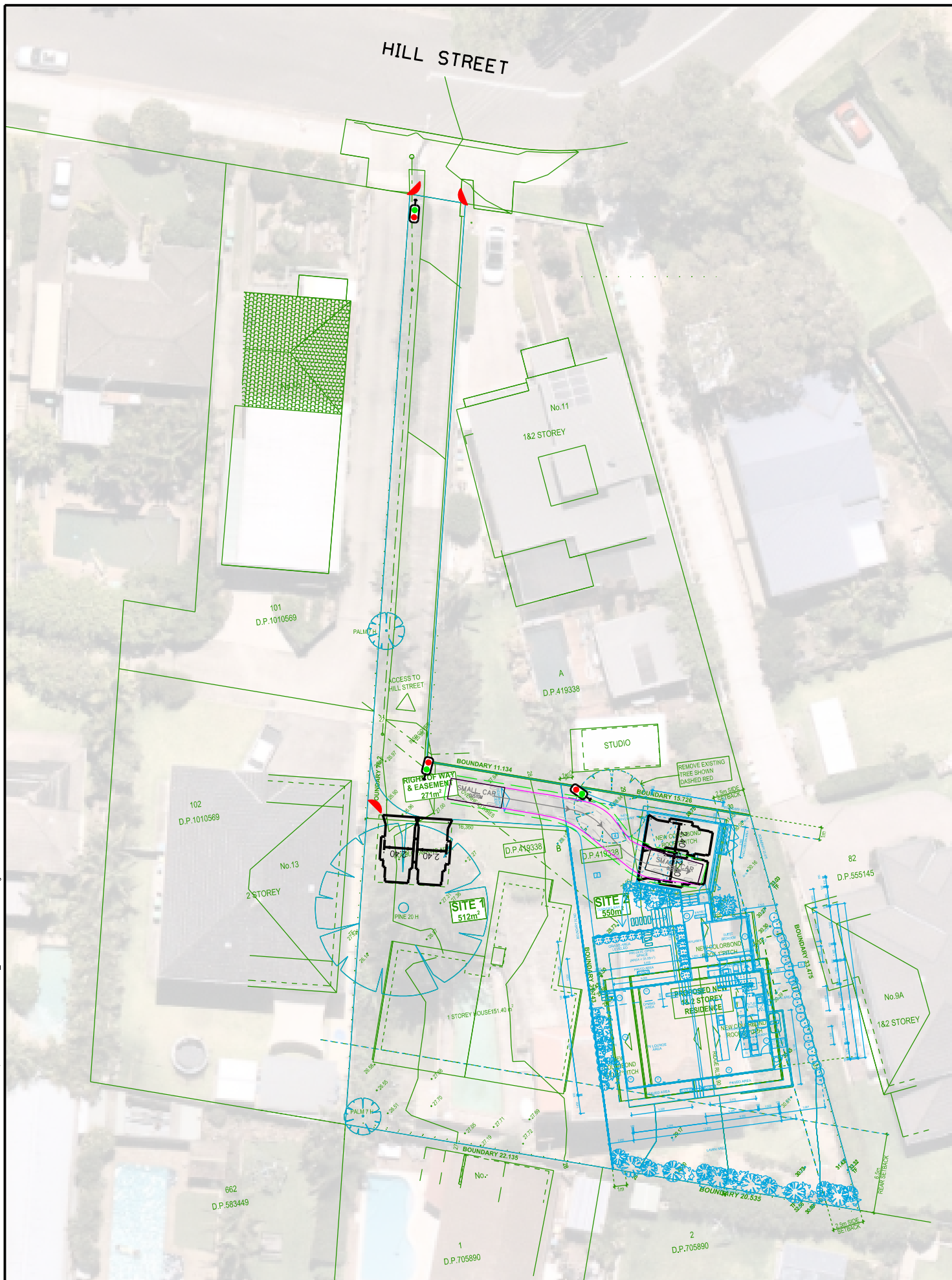


SWEEP PATH KEY:	
	VEHICLE CENTRE LINE
	VEHICLE TYRE PATH
	VEHICLE BODY PATH
	300mm CLEARANCE FROM VEHICLE BODY

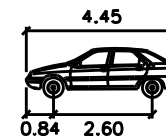


B85	
Width	: 1.87 meters
Track	: 1.77
Lock to Lock Time	: 6.0
Steering Angle	: 34.1

T:\VOR\21MISC\004 - MISC FEED\0404 - 11B HILL STREET, WARRIEWOOD\DRAWINGS: CAD\21M004-V2.1-SP-M.dgn
Plt by Shetlock



SWEEP PATH KEY:	
	VEHICLE CENTRE LINE
	VEHICLE TYRE PATH
	VEHICLE BODY PATH
	300mm CLEARANCE FROM VEHICLE BODY



SMALL CAR

	metres
Width	: 1.70
Track	: 1.48
Lock to Lock Time	: 6.0
Steering Angle	: 34.6

11B HILL STREET, WARRIEWOOD

SWEPT PATH ASSESSMENT
DRAWING REF NO. 21M004-V2.1-SP-M

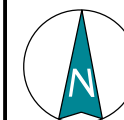
SHEET NO. 03 OF 03

ISSUE DATE 1 OCTOBER 2021

DESIGNED BY
S.YOU

REVIEWED BY
M.KONG

SCALE
A3



PRELIMINARY PLAN
FOR DISCUSSION PURPOSES
ONLY SUBJECT TO CHANGE
WITHOUT NOTIFICATION

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THE ACCURACY OF THIS DOCUMENT IS NOT
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